

# 255 TURNPIKE ROAD

## SITE PLAN OF LAND

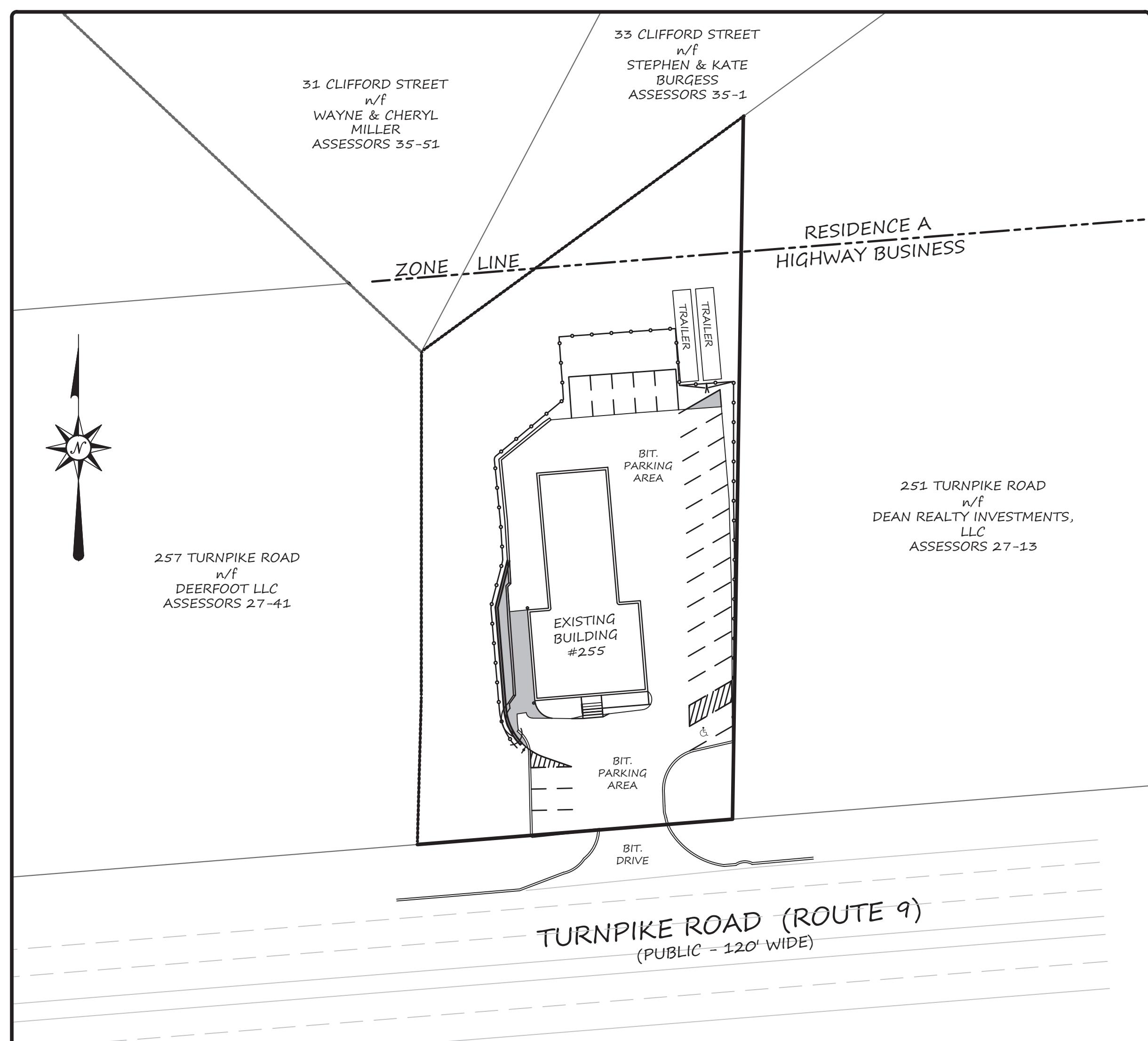
### IN SOUTHBOROUGH, MASSACHUSETTS

PREPARED BY:

MERRIKIN ENGINEERING, LLP  
730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054



2009 MASSGIS AERIAL LOCUS  
SCALE: 1" = 300'

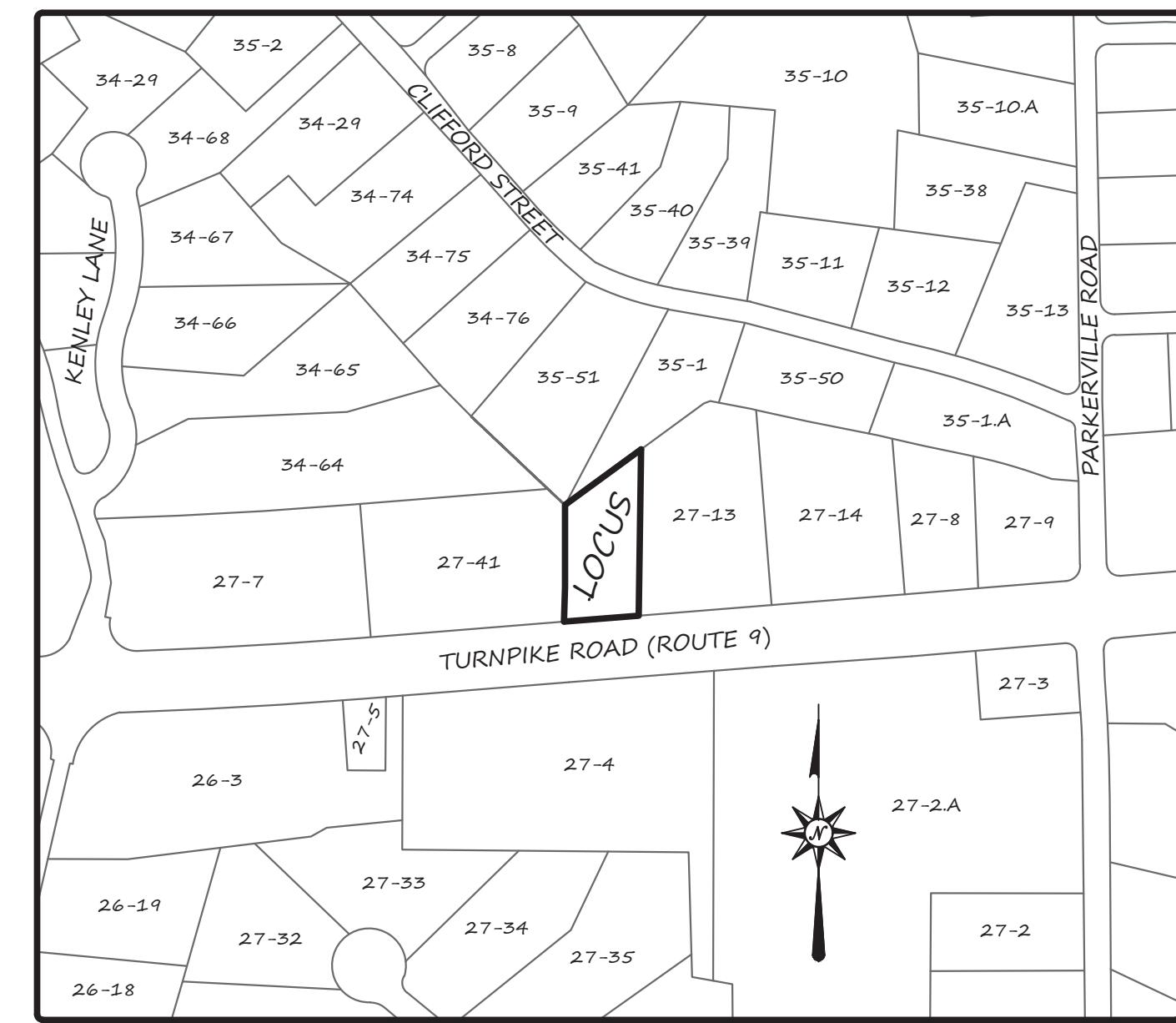


LOCUS  
SCALE: 1" = 40'

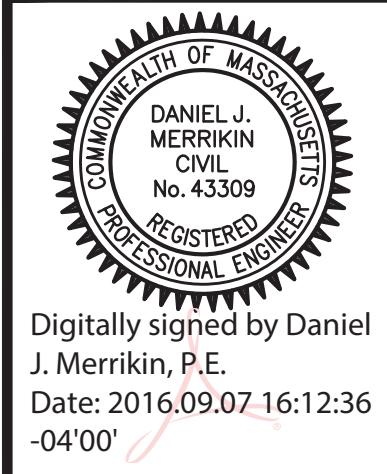
SEPTEMBER 1, 2016

PREPARED FOR:

ELLEN REALTY TRUST  
730 MAIN STREET  
MILLIS, MA 02054



ASSESSORS LOCUS  
SCALE: 1" = 300'



Digitally signed by Daniel J. Merrikin, P.E.  
Date: 2016.09.07 16:12:36  
-04'00'

PLAN SCALE: 1" = 20'  
80'  
40'  
20'  
0'

PLAN SCALE: 1" = 20'  
80'  
40'  
20'  
0'

| SITE ADDRESS:               | 255 TURNPIKE ROAD<br>SOUTHBOROUGH, MA 01772                         |
|-----------------------------|---|
| MAP AND PARCEL:             | MAP 27<br>PARCEL 06   |
| ZONING CLASSIFICATION:      | BUSINESS HIGHWAY<br>RESIDENCE A                                     |
| OWNER:                      | UNICORN REALTY TRUST<br>255 TURNPIKE ROAD<br>SOUTHBOROUGH, MA 01772 |
| APPLICANT:                  | COMMCAAN, INC.<br>730 MAIN STREET<br>MILLIS, MA 02054               |
| PLAN ENDORSEMENT DATE:      | <br><br><br><br><br>  |
| SOUTHBOROUGH PLANNING BOARD |   |
| PLAN DATE:                  | SEPTEMBER 1, 2016   |
| REVISION                    |   |
| BY                          |   |

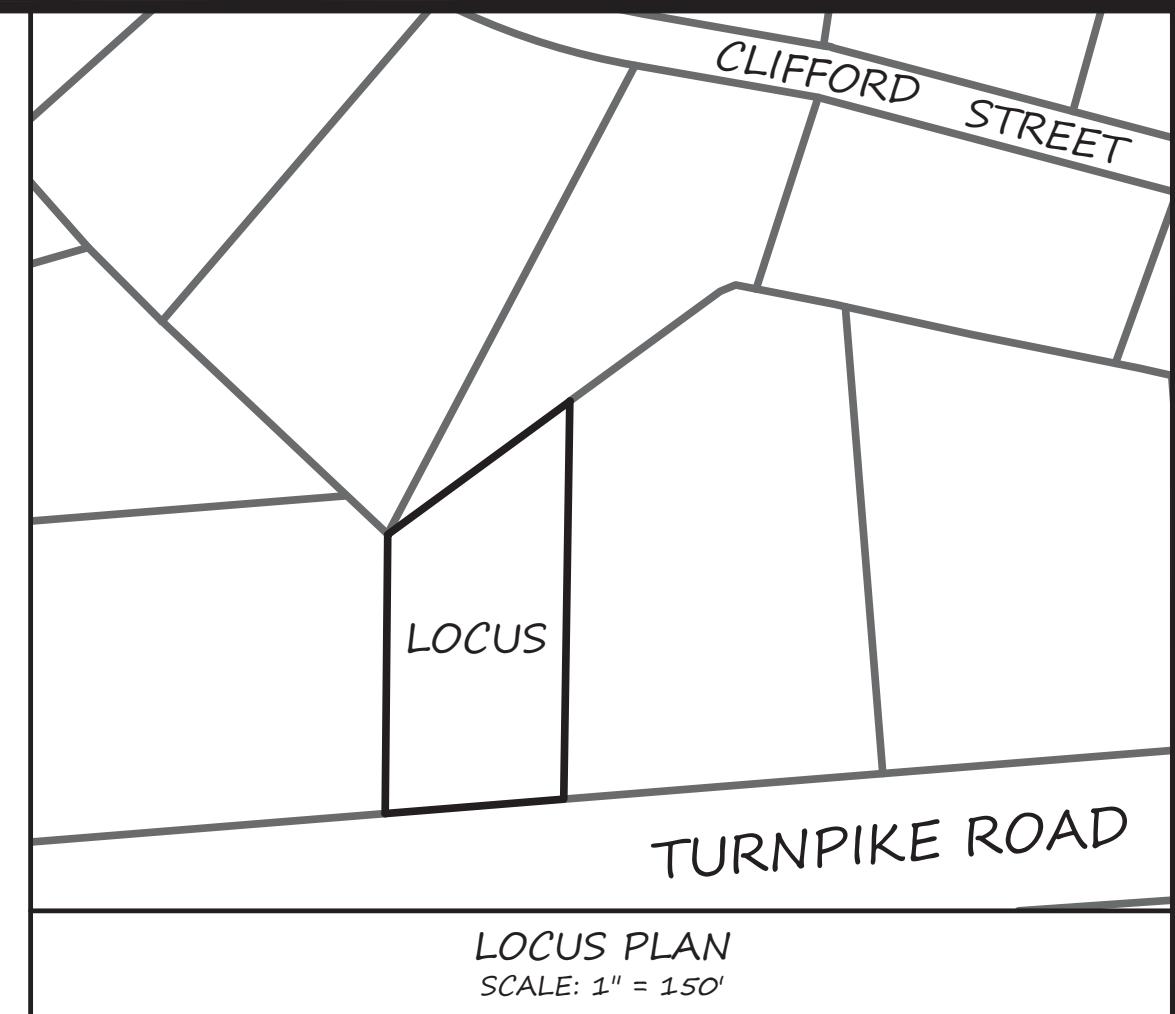
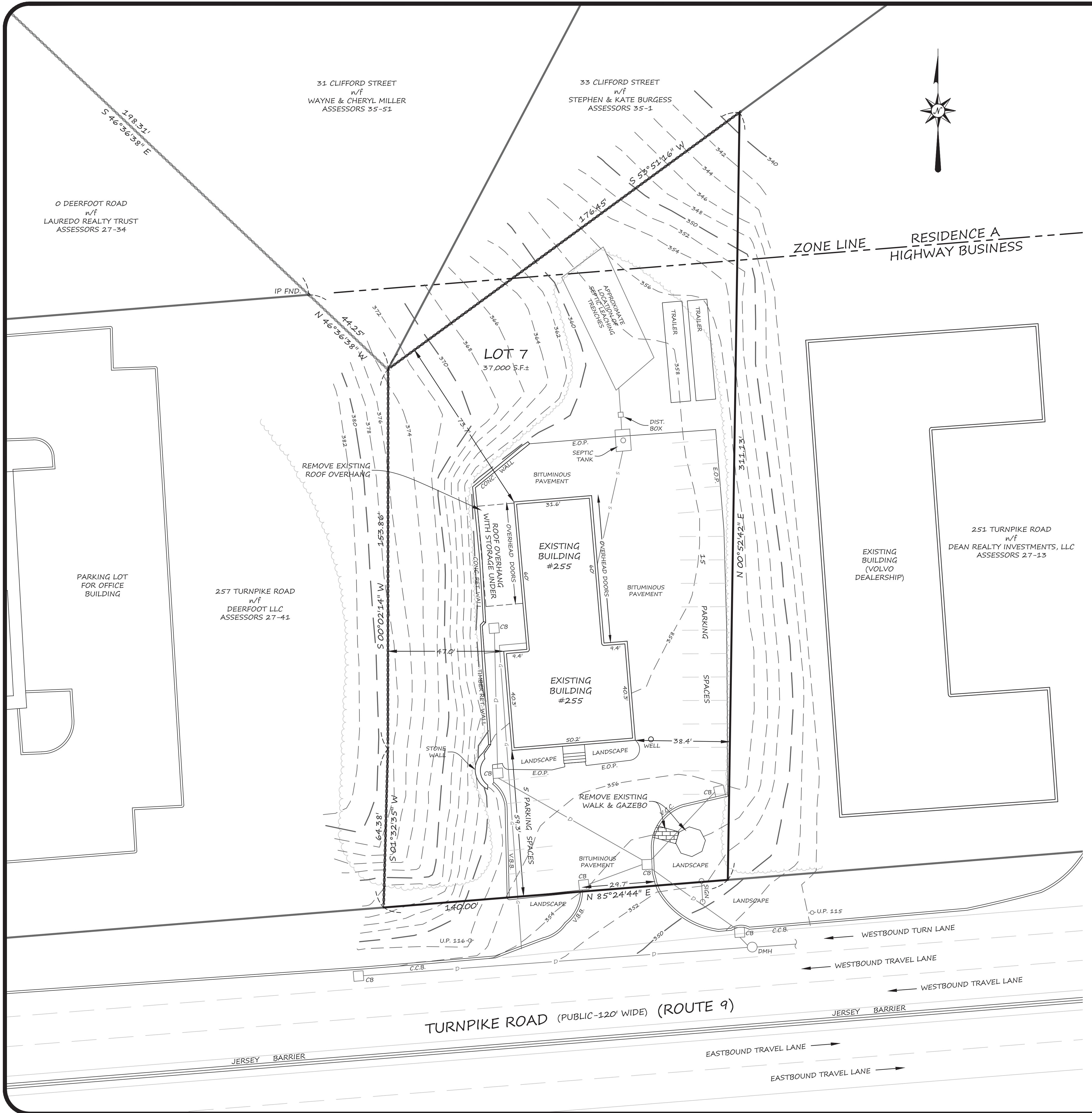
255 TURNPIKE ROAD  
EXISTING CONDITIONS  
PLAN OF LAND  
IN  
SOUTHBOROUGH, MA

#### PLAN INDEX

SHEET 1 - COVER  
SHEET 2 - EXISTING CONDITIONS  
SHEET 3 - PROPOSED CONDITIONS SHEET  
SHEET 4 - LANDSCAPE PLAN  
SHEET 5 - LIGHTING PLAN  
SHEET 6 - DETAIL SHEET

**MERRIKIN**  
ENGINEERING, LLP

730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054  
Phone: 508-376-8883



Digitally signed by Daniel  
J. Merrikin, P.E.  
Date: 2016.09.07 16:13:07  
-04'00'

US PLAN  
E: 1" = 150'

255 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772

MAP AND PARCEL:  
MAP 27  
PARCEL 06

ZONING CLASSIFICATION:  
BUSINESS HIGHWAY  
RESIDENCE A

OWNER:  
UNICORN REALTY TRUST  
255 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772

APPLICANT:  
COMM CAN, INC.  
730 MAIN STREET  
MILLIS, MA 02054

PLAN ENDORSEMENT DATE:

## GENERAL NOTES:

1. SURVEY & PLAN REFERENCES:
    - A. DEED REFERENCE:  
BOOK 12215, PAGE 394
    - B. PLAN REFERENCES:  
BOOK 320 NO 5 OF 1968
  2. DATUM: NAVD88
  3. EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
  4. FEATURES OUTSIDE OF THE SITE SUCH AS ADJACENT STRUCTURES ARE APPROXIMATE ONLY AND BASED ON AVAILABLE AERIAL PHOTOGRAPHY.

## CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL RETAINING WALLS (WALLS WITH AN EXPOSED FACE OF GREATER THAN 4'). DESIGN SHALL BE BY A REGISTERED STRUCTURAL ENGINEER AND SHALL BE STAMPED ACCORDINGLY.

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SOUTHBOROUGH PLANNING BOARD

## LEGEND & ABBREVIATIONS

- CB: EXISTING CATCH BASIN  
CB: PROP. SINGLE-GRADE CATCH BASIN  
CB: PROP. DOUBLE-GRADE CATCH BASIN  
STC XXX: STORMCEPTOR TREATMENT UNIT  
DMH: DRAIN MANHOLE  
DR.: TRENCH DRAIN  
FIL. TR.: INFILTRATION TRENCH  
— X" D — DRAIN PIPELINE  
P: REINFORCED CONCRETE PIPE  
C: POLYVINYL CHLORIDE PIPE  
SMH: SEWER MANHOLE  
— X" S — SEWER PIPELINE  
.O.: SEWER SERVICE CLEANOUT  
— X" W — WATER MAIN  
HYD: HYDRANT  
G.V.: WATER GATE VALVE  
C.S.: WATER SERVICE CURB STOP  
M.B.: WATER SERVICE METER BOX  
— G — GAS PIPELINE  
L.P.: LIGHT POLE  
U.P.: UTILITY POLE  
G.Y.: GUY WIRE  
S.P.: TRAFFIC SIGNAL POLE  
— 252 — EXISTING CONTOUR  
[ 252 ] PROPOSED CONTOUR  
E.P.: EDGE OF PAVEMENT  
I.B.: INTEGRAL SLOPED BIT. BERM  
V.B.: VERTICAL BITUMINOUS BERM  
S.C.: SLOPED GRANITE CURB  
V.C.: VERTICAL GRANITE CURB  
C.C.: VERTICAL CONCRETE CURB  
E.S.: EDGE CONCRETE SLAB  
G.V.: GATE VALVE  
C.F.: CHAIN LINK FENCE  
W.S.: WOOD STOCKADE FENCE  
P.F.: PVC PICKET FENCE  
G.R.: GUARD RAIL

255 TURNPIKE ROAD  
EXISTING CONDITIONS  
PLAN OF LAND  
IN  
SOUTHBOROUGH, MA

The logo for MERRIKIN ENGINEERING LTD. It features a stylized graphic of three black rectangular blocks of increasing height from left to right, with a thin, curved white line sweeping across them from left to right. Below this graphic, the company name is written in a bold, black, sans-serif font, with 'MERRIKIN' on the top line and 'ENGINEERING LTD' on the bottom line.

730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054  
Phone: 508-376-8883

**PROPOSED CONDITIONS NOTES:**

1. APPLICANT SHALL SEEK A VARIANCE TO INSTALL AN 8' CHAIN LINK FENCE ALONG THE EAST SIDE OF THE PROPERTY WHERE SHOWN. SHOULD THE VARIANCE BE GRANTED AND NOT APPEALED, SAID FENCING SHALL BE INSTALLED AT 8'. OTHERWISE, SAID FENCING SHALL BE INSTALLED AT 6' IN COMPLIANCE WITH THE ZONING BYLAW.
  2. NO SIGN SHALL BE ILLUMINATED BETWEEN THE HOURS OF 10:00 PM AND 6:00 AM. THE PROPOSED SPOTLIGHTS FOR THE STANDING SIGN SHALL BE WHITE, STEADY, STATIONARY, SHIELDED AND DIRECTED SOLELY AT THE SIGN.

NO SIGN SHALL BE ILLUMINATED BETWEEN THE HOURS  
OF 10:00 PM AND 6:00 AM. THE PROPOSED SPOTLIGHTS  
FOR THE STANDING SIGN SHALL BE WHITE, STEADY,  
n/f  
WAYNE & CHERYL MILLER  
ASSESSORS 35-51

33 CLIFFORD STREET  
n/f  
STEPHEN & KATE BURGESS  
ASSESSORS 35-1

O DEERFOOT ROAD  
n/f  
LAUREDO REALTY TRUST  
ASSESSORS 27-34

## ZONING TABLE

| Zoning Parameter     | Required    | Provided     |
|----------------------|-------------|--------------|
| Lot Area             | 43,560 s.f. | 37,000 s.f.* |
| Lot Frontage         | 200 feet    | 140 ft.*     |
| FAR                  | 0.60 max.   | 0.1          |
| Frontyard Setback    | 75' min.    | 59.3'±*      |
| Lt. Sideyard Setback | 50' min.    | 36'±*        |
| Rt. Sideyard Setback | 50' min.    | 38.4'±*      |
| Rearyard Setback     | 50' min.    | 73.5'±       |

## \* PRE-EXISTING NON-CONFORMING

## GROSS FLOOR AREA TABLE

| Floor  | Stairs,<br>Maint.<br>Room,<br>Garage &<br>Storage<br>(s.f.) | Gross<br>Floor<br>Area<br>(Office/<br>Retail)<br>(s.f.) | Total Area<br>(s.f.) |
|--------|---|---|----------------------|
| First  | 1,805 s.f.  | 1,965 s.f.  | 3,770 s.f.           |
| Second | 1,410 s.f.  | 1,785 s.f.  | 3,195 s.f.           |

## PARKING NOTES:

1. PARKING SPACES 9.5' WIDE X 18' DEEP.
  2. HANDICAP SPACES 8' WIDE X 18' DEEP PLUS ADJACENT 8' WIDE ACCESS AISLE.
  3. PARKING REQUIRED: 16 SPACES
    - 3.1. MEDICAL: 1ST FLOOR = 1 SPACE PER 200 S.F. GFA  
= 10 SPACES
    - 3.2. OTHER: 2ND FLOOR = 3.5 SPACES PER 1,000 S.F. GFA  
= 6 SPACES.
  4. PARKING PROVIDED: 21 SPACES

SITE ADDRESS:  
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SOUTHBOROUGH, MA 01772

MAP AND PARCEL:  
MAP 27  
PARCEL 06

ZONING CLASSIFICATION:  
BUSINESS HIGHWAY  
RESIDENCE A

OWNER:  
UNICORN REALTY TRUST  
255 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772

APPLICANT:  
COMMCAN, INC.  
730 MAIN STREET  
MILLIS, MA 02054

PLAN ENDORSEMENT DATE:

A circular seal with a serrated outer edge. The words "COMMONWEALTH OF MASSACHUSETTS" are written in a circle along the top inner edge. The name "DANIEL J. MERRIKIN" is in the center. Below that is "CIVIL". Under "CIVIL" is "No. 43309". Along the bottom inner edge, the words "REGISTERED" and "PROFESSIONAL ENGINEER" are written in a circle.

Digitally signed by Daniel J.  
Merrikin, P.E.  
Date: 2016.09.07 16:13:40  
-04'00'

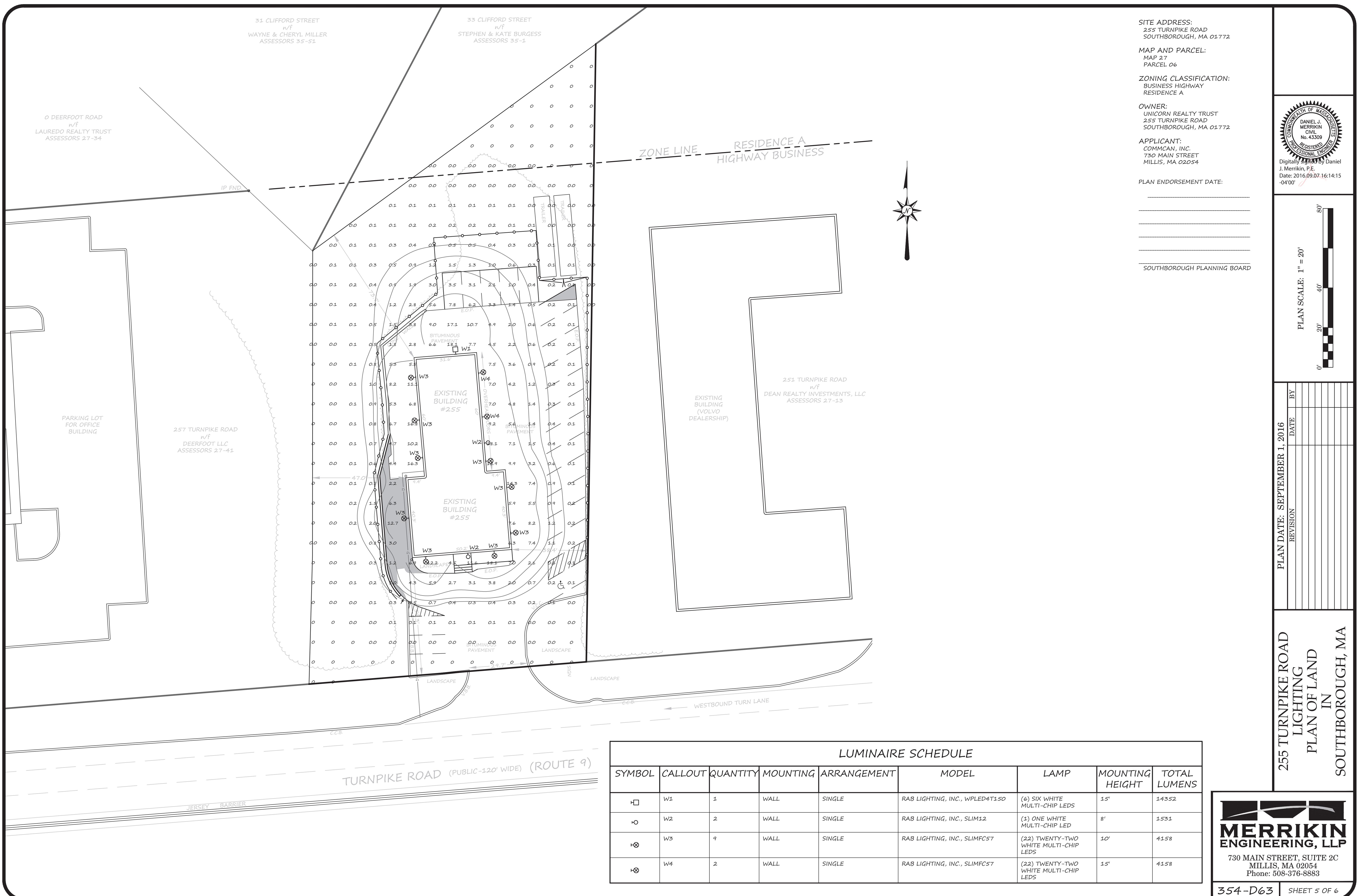
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I. ENN 2015: T = 25

255 TURNPIKE ROAD  
PROPOSED CONDITIONS  
PLAN OF LAND  
IN  
SOUTHBOROUGH, MA





SITE ADDRESS:  
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MAP AND PARCEL:  
MAP 27  
PARCEL 06

ZONING CLASSIFICATION:  
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OWNER:  
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SOUTHBOROUGH, MA 01772

APPLICANT:  
COMMCA, INC.  
730 MAIN STREET  
MILLIS, MA 02054

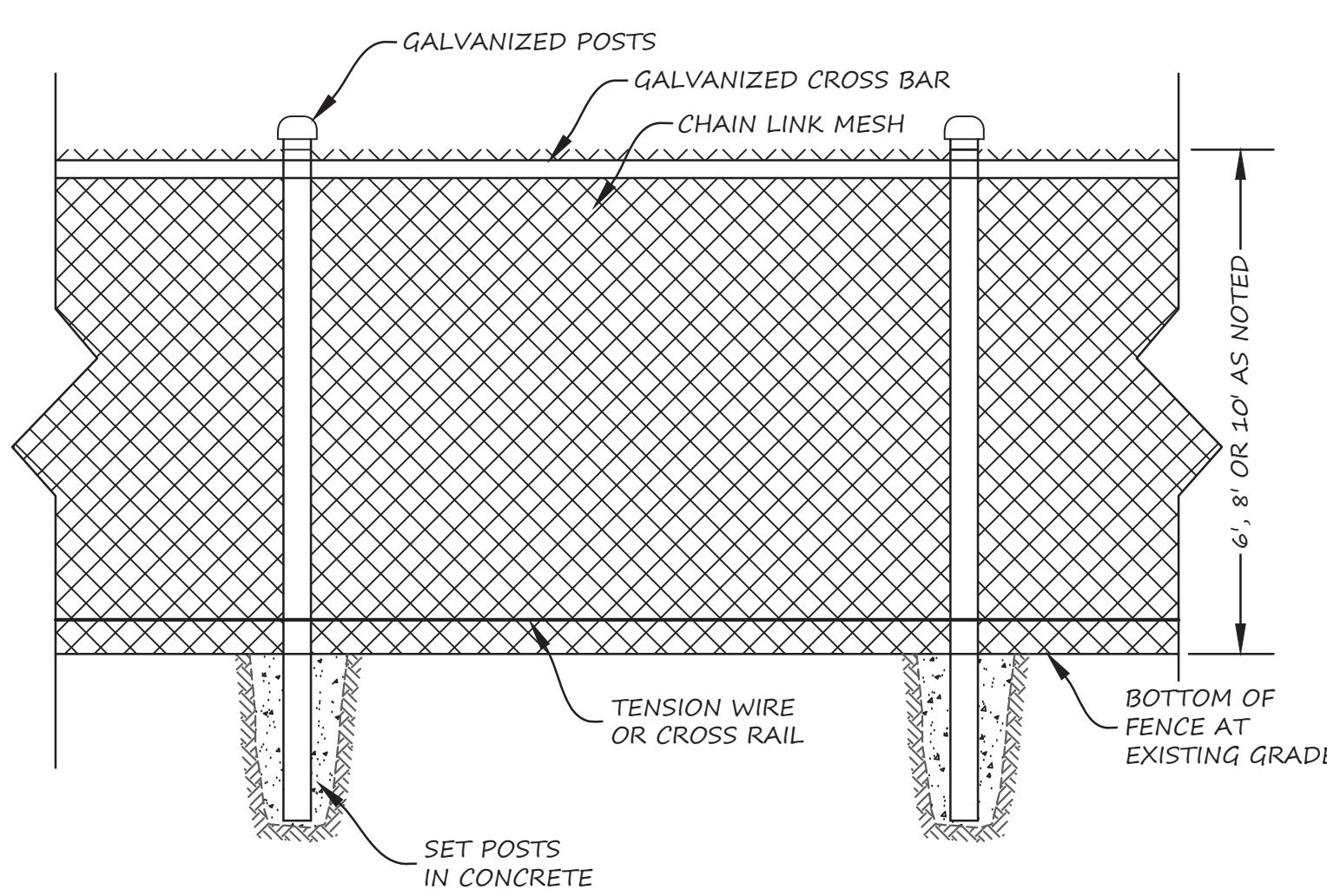


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Daniel J. Merrikin, P.E.  
Date: 2016.09.07  
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PLAN ENDORSEMENT DATE:

SOUTHBOROUGH PLANNING BOARD

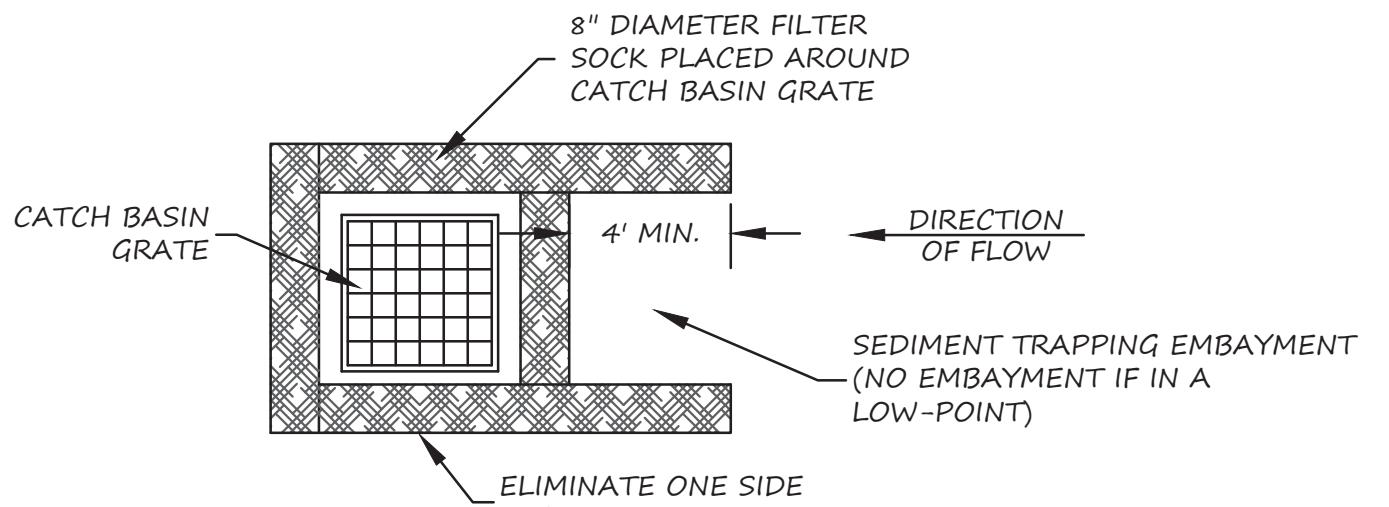
PLAN SCALE: 1" = 20'  
0' 20' 40' 80'



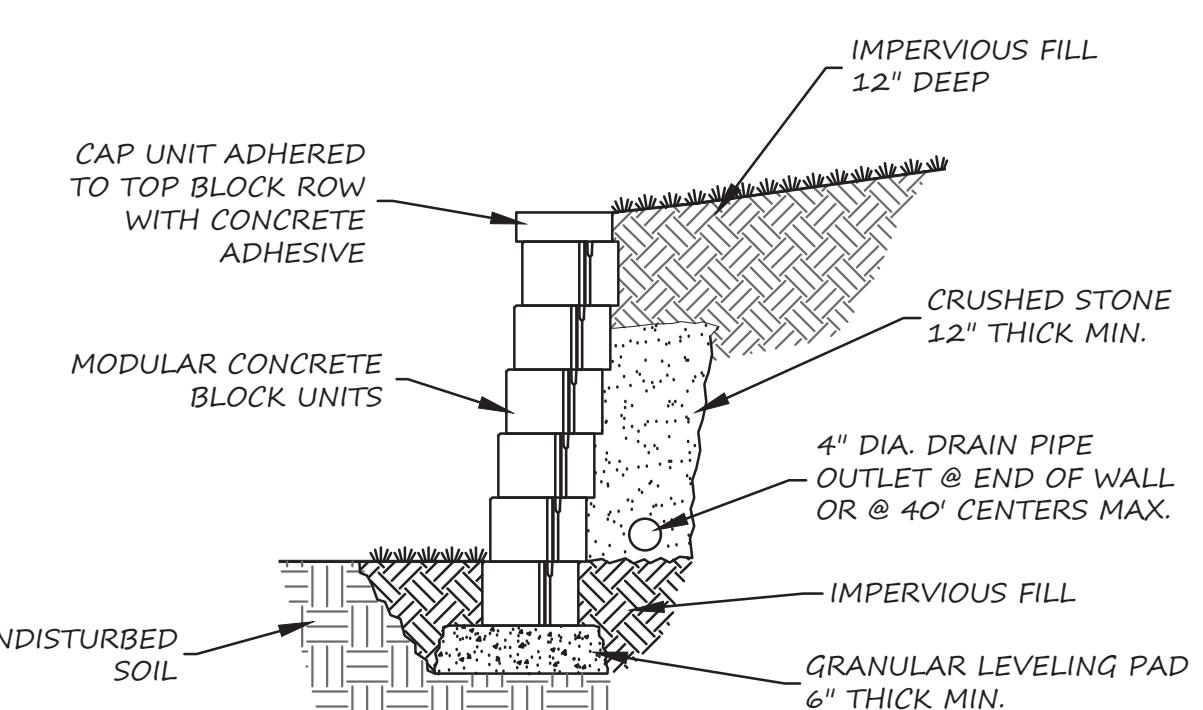
NOTES:

1. ALL METAL COMPONENTS TO BE GALVANIZED OR VINYL COATED
2. FENCE TO BE INSTALLED WITH FINISHED SIDE FACING ABUTTING PROPERTIES.

CHAIN LINK FENCE DETAIL  
NOT TO SCALE



INLET PROTECTION DETAIL  
NOT TO SCALE



NOTES:  
1. SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 4' EXPOSED FACE. GEOTEXTILE REINFORCEMENT REQUIREMENTS SHALL BE DESIGNED BY MANUFACTURER.  
2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

TYPICAL RETAINING WALL  
NOT TO SCALE

| 255 TURNPIKE ROAD | PLAN DATE: SEPTEMBER 1, 2016 |
|-------------------|------------------------------|
| DETAILS           | REVISION                     |
| PLAN OF LAND      |                              |
| IN                |                              |
| SOUTHBOROUGH, MA  |                              |