

255 TURNPIKE ROAD
SITE PLAN OF LAND
IN SOUTHBOROUGH, MASSACHUSETTS
SEPTEMBER 1, 2016

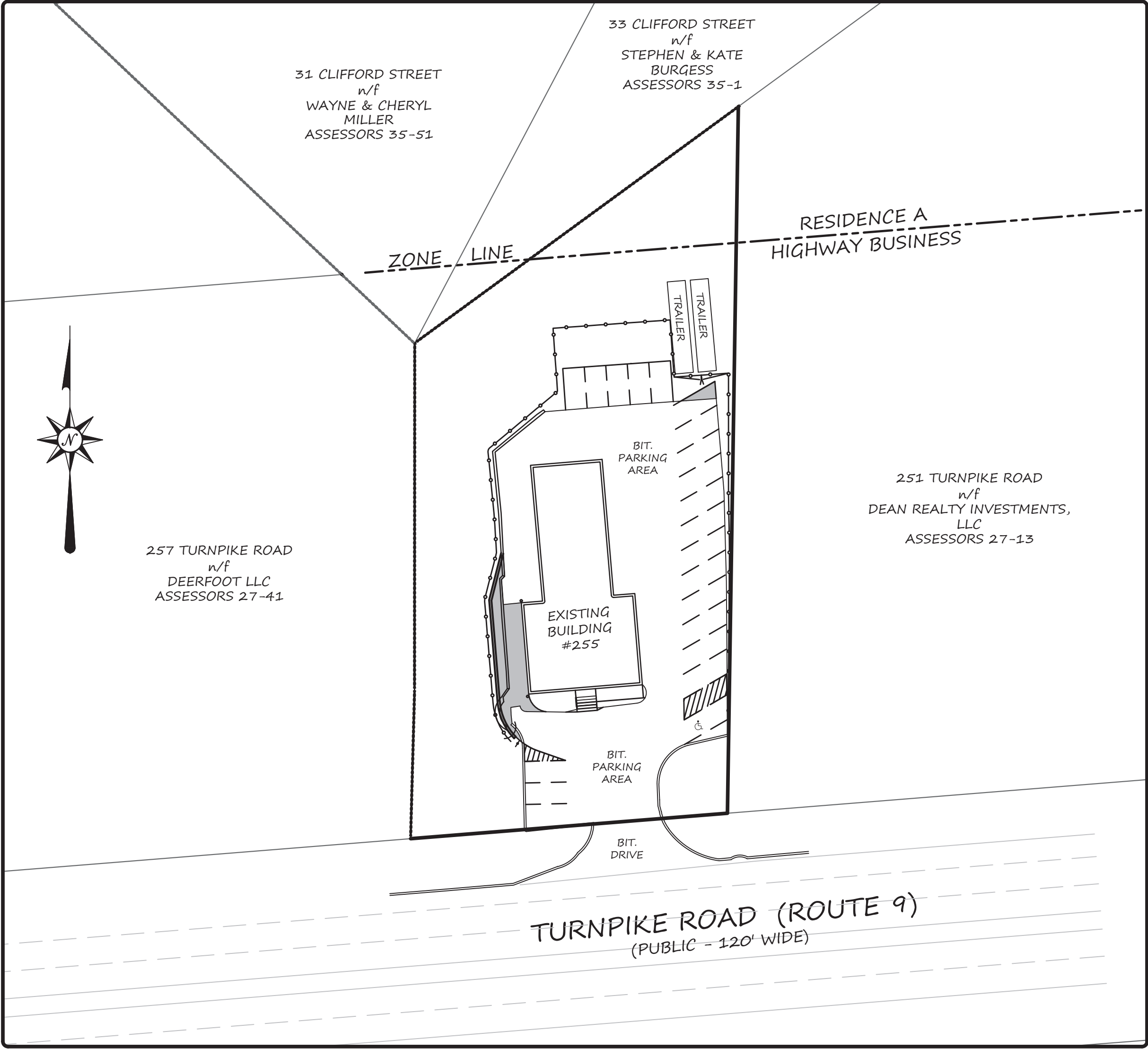
PREPARED BY:
MERRIKIN ENGINEERING, LLP
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

PREPARED FOR:
ELLEN REALTY TRUST
730 MAIN STREET
MILLIS, MA 02054

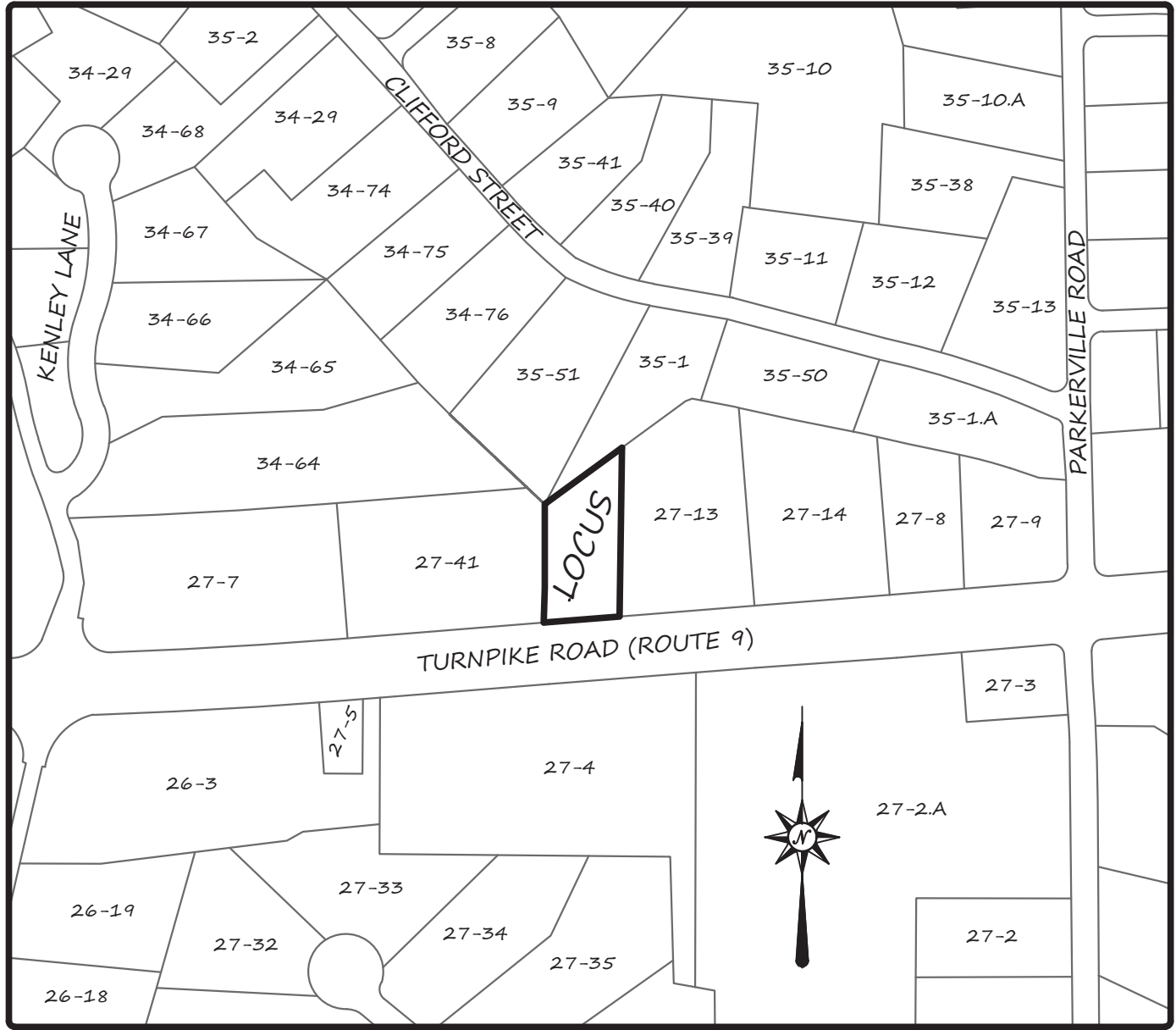

Digitally signed by Daniel
J. Merrikin, P.E.
Date: 2016.09.07 16:12:36
-04'00'



2009 MASSGIS AERIAL LOCUS
SCALE: 1" = 300'



LOCUS
SCALE: 1" = 40'



ASSESSORS LOCUS
SCALE: 1" = 300'

SITE ADDRESS:
255 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772

MAP AND PARCEL:
MAP 27
PARCEL 06

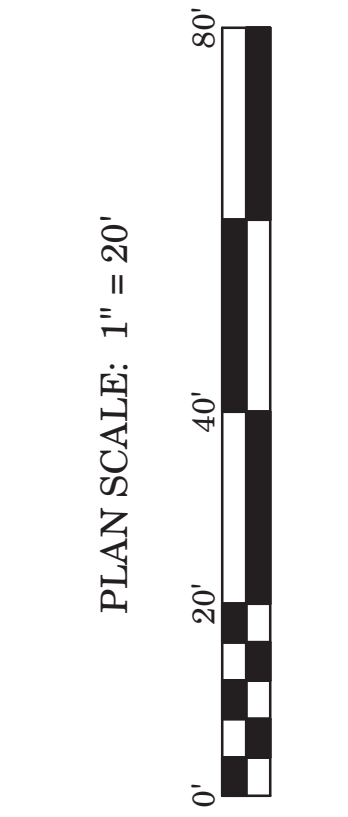
ZONING CLASSIFICATION:
BUSINESS HIGHWAY
RESIDENCE A

OWNER:
UNICORN REALTY TRUST
255 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772

APPLICANT:
COMMCAN, INC.
730 MAIN STREET
MILLIS, MA 02054

PLAN ENDORSEMENT DATE:

SOUTHBOROUGH PLANNING BOARD



PLAN DATE: SEPTEMBER 1, 2016	
REVISION	DATE

255 TURNPIKE ROAD
EXISTING CONDITIONS
PLAN OF LAND
IN
SOUTHBOROUGH, MA

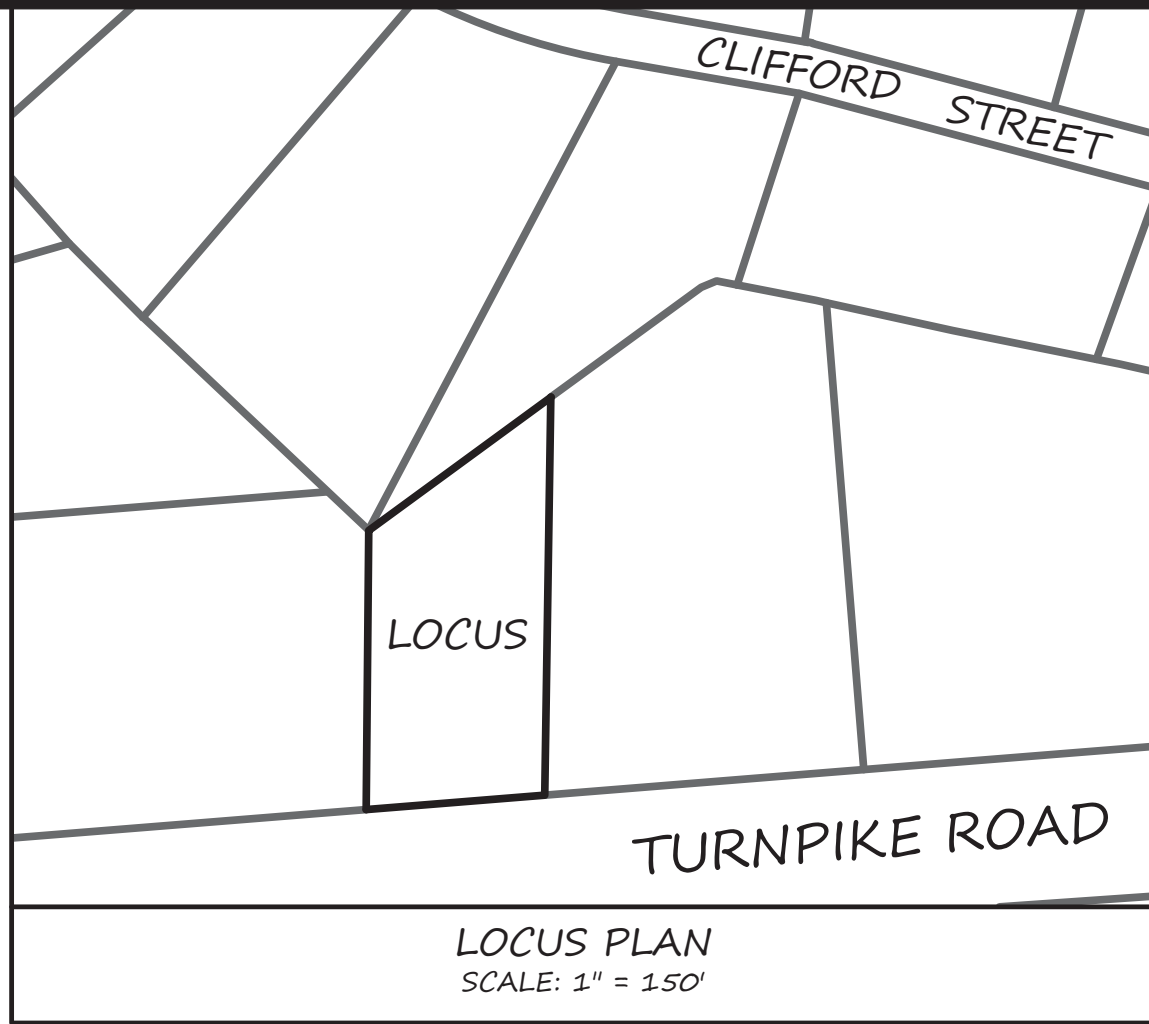
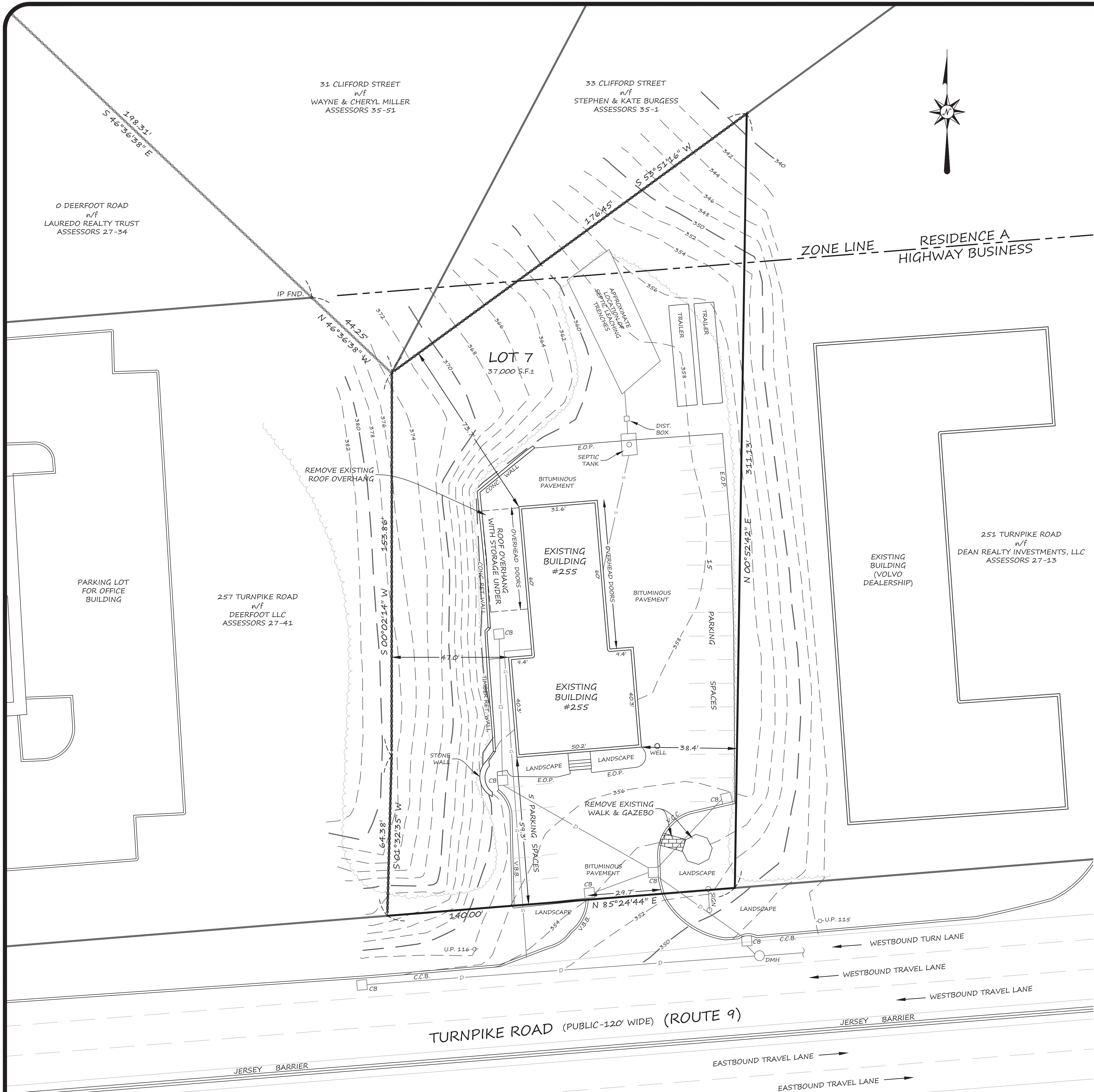
PLAN INDEX

SHEET 1 - COVER
SHEET 2 - EXISTING CONDITIONS
SHEET 3 - PROPOSED CONDITIONS SHEET
SHEET 4 - LANDSCAPE PLAN
SHEET 5 - LIGHTING PLAN
SHEET 6 - DETAIL SHEET



**MERRIKIN
ENGINEERING, LLP**

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
Phone: 508-376-8883



DANIEL J. MERRIKIN
CIVIL
No. 43309
REGISTERED PROFESSIONAL ENGINEER

Digitally signed by Daniel J. Merrikin, P.E.
Date: 2016.09.07 16:13:07 -04'00'

GENERAL NOTES:

- SURVEY & PLAN REFERENCES:
A. DEED REFERENCE:
BOOK 12215, PAGE 394
B. PLAN REFERENCES:
BOOK 320 NO 5 OF 1968
- DATUM: NAVD88
- EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
- FEATURES OUTSIDE OF THE SITE SUCH AS ADJACENT STRUCTURES ARE APPROXIMATE ONLY AND BASED ON AVAILABLE AERIAL PHOTOGRAPHY.

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL RETAINING WALLS (WALLS WITH AN EXPOSED FACE OF GREATER THAN 4'). DESIGN SHALL BE BY A REGISTERED STRUCTURAL ENGINEER AND SHALL BE STAMPED ACCORDINGLY.

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255 TURNPIKE ROAD
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MAP 27
PARCEL 06

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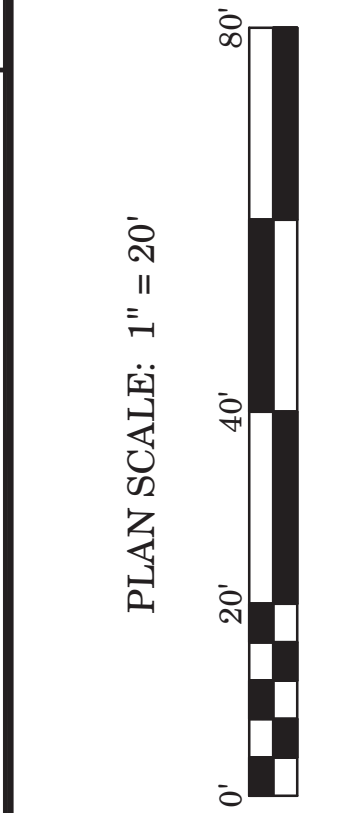
APPLICANT:
COMMCAN, INC.
730 MAIN STREET
MILLIS, MA 02054

PLAN ENDORSEMENT DATE:

REVISION	DATE	BY

LEGEND & ABBREVIATIONS

- CB: EXISTING CATCH BASIN
- CB: PROP. SINGLE-GRATE CATCH BASIN
- CB: PROP. DOUBLE-GRATE CATCH BASIN
- STC: STORMCEPTOR TREATMENT UNIT
- DMH: DRAIN MANHOLE
- TR: TRENCH DRAIN
- INFIL. TR.: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- SMH: SEWER MANHOLE
- X" S: SEWER PIPELINE
- OC.D: SEWER SERVICE CLEANOUT
- X" W: WATER MAIN
- HYD: HYDRANT
- W.G.V.: WATER GATE VALVE
- W.S.: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 253: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.C.B.: INTEGRAL SLOPED BIT. BERM
- V.B.B.: VERTICAL BITUMINOUS BERM
- S.G.C.: SLOPED GRANITE CURB
- V.G.C.: VERTICAL GRANITE CURB
- V.C.C.: VERTICAL CONCRETE CURB
- E.C.S.: EDGE CONCRETE SLAB
- G.V.: GATE VALVE
- C.L.F.: CHAIN LINK FENCE
- W.S.F.: WOOD STOCKADE FENCE
- P.P.F.: PVC PICKET FENCE
- G.R.: GUARD RAIL
- C.C.: HANDICAP CURB CUT



PLAN DATE: SEPTEMBER 1, 2016

255 TURNPIKE ROAD
EXISTING CONDITIONS
PLAN OF LAND
IN
SOUTHBOROUGH, MA



730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
Phone: 508-376-8883

354-D63

SHEET 2 OF 6

1. APPLICANT SHALL SEEK A VARIANCE TO INSTALL AN 8' CHAIN LINK FENCE ALONG THE EAST SIDE OF THE PROPERTY WHERE SHOWN. SHOULD THE VARIANCE BE GRANTED AND NOT APPEALED, SAID FENCING SHALL BE INSTALLED AT 8'. OTHERWISE, SAID FENCING SHALL BE INSTALLED AT 6' IN COMPLIANCE WITH THE ZONING BYLAW.
2. NO SIGN SHALL BE ILLUMINATED BETWEEN THE HOURS OF 10:00 PM AND 6:00 AM. THE PROPOSED SPOTLIGHTS FOR THE STANDING SIGN SHALL BE TURNED OFF, NON- STATIONARY, SHIELDED AND DIRECTED SOLELY AT THE SIGN.

33 CLIFFORD STREET
w/f
STEPHEN & KATE BURGESS
ASSESSORS 35-1

O DEERFOOT ROAD
w/f
LAUREDO REALTY TRUST
ASSESSORS 27-34

257 TURNPIKE ROAD
w/f
DEERFOOT LLC
ASSESSORS 27-41

PARKING LOT
FOR OFFICE
BUILDING

ZONE LINE RESIDENCE A
HIGHWAY BUSINESS



ZONING TABLE		
Zoning Parameter	Required	Provided
Lot Area	43,560 s.f.	37,000 s.f.
Lot Frontage	200 feet	140 ft.
FAR	0.60 max.	0.1
Frontyard Setback	75' min.	59.3'±
Lt. Sideyard Setback	50' min.	36'±
Rt. Sideyard Setback	50' min.	38.4'±
Rearyard Setback	50' min.	73.5'±

* PRE-EXISTING NON-CONFORMING

GROSS FLOOR AREA TABLE			
Floor	Stairs, Maint. Room, Garage & Storage (s.f.)	Gross Floor Area (Office/ Retail) (s.f.)	Total Area (s.f.)
First	1,805 s.f.	1,965 s.f.	3,770 s.f.
Second	1,410 s.f.	1,785 s.f.	3,195 s.f.

1. PARKING SPACES 9.5' WIDE X 18' DEEP.
2. HANDICAP SPACES 8' WIDE X 18' DEEP PLUS ADJACENT 8' WIDE ACCESS AISLE.
3. PARKING REQUIRED: 16 SPACES
 - 3.1. MEDICAL: 1ST FLOOR = 1 SPACE PER 200 S.F. GFA = 10 SPACES
 - 3.2. OTHER: 2ND FLOOR = 3.5 SPACES PER 1,000 S.F. GFA = 6 SPACES.
4. PARKING PROVIDED: 21 SPACES

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SOUTHBOROUGH PLANNING BOARD



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2016.09.07 16:13:40
-04'00'

PLAN SCALE: 1" = 20'

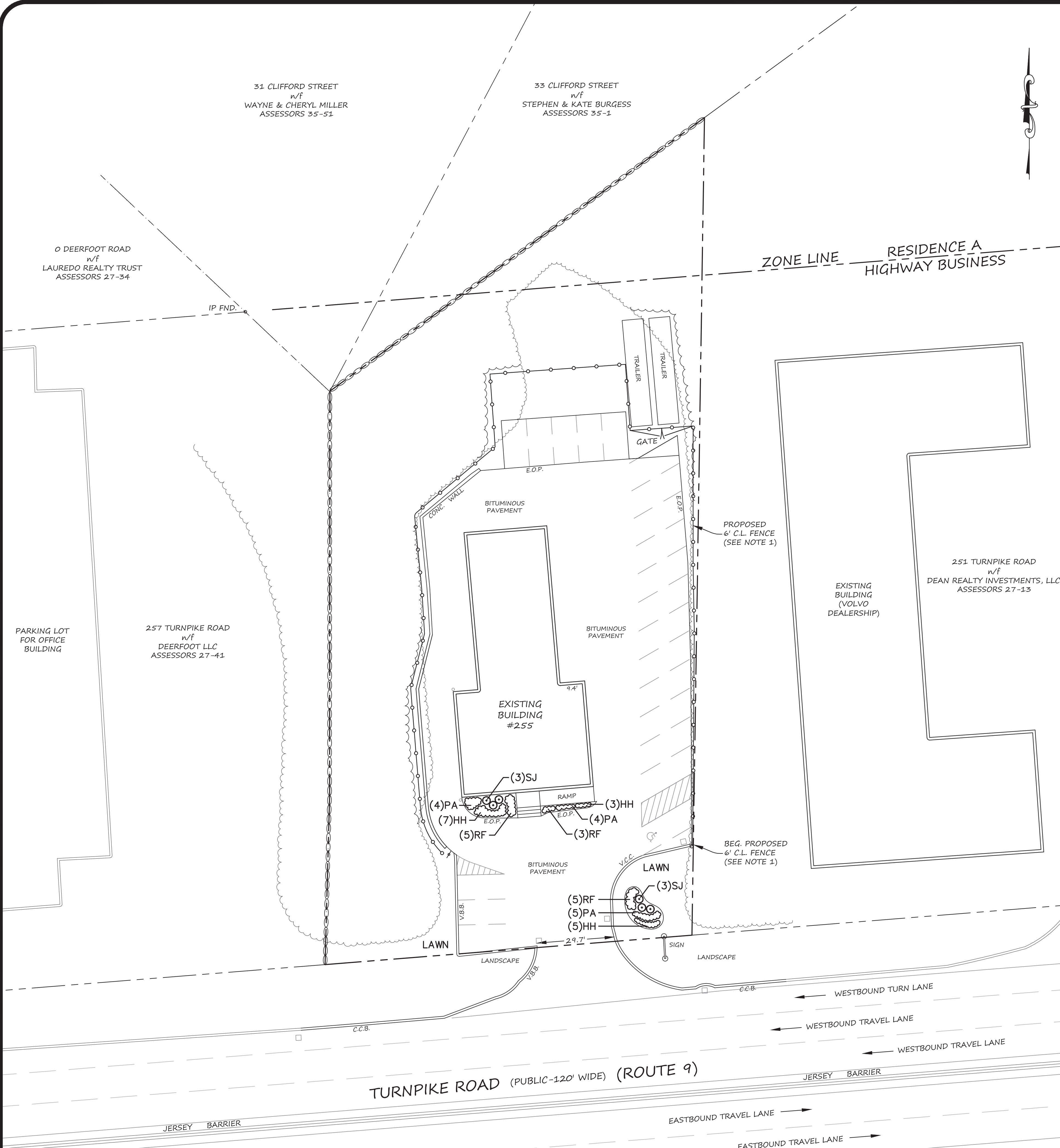
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255 TURNPIKE ROAD
PROPOSED CONDITIONS
PLAN OF LAND
IN
SOUTHBOROUGH, MA



730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
Phone: 508-376-8883

354-D63	SHEET 3 OF 6
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SITE ADDRESS:
255 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772

MAP AND PARCEL:
MAP 27
PARCEL 06

ZONING CLASSIFICATION:
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SOUTHBOROUGH, MA 01772

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MILLIS, MA 02054

PLAN ENDORSEMENT DATE:

SOUTHBOROUGH PLANNING BOARD

PLANTING NOTES:

1. Trees and shrubs shall be uniform, full and bushy, and well branched specimen plants. All plants to be approved by Landscape Architect.
2. Plants shall be balled and burlapped or container grown.
3. Plants to conform to the requirements established in 'American Standards For Nursery Stock', latest edition.
4. Plant beds to receive 3-inch min. depth of shredded bark mulch. Contractor to submit bark samples for approval.
5. Edge of plant beds shall be a maximum of 12-inches from edge of plant material.
6. Plant materials shall be guaranteed for one year after installation.
7. Plants to be field located and approved by Landscape Architect.
8. Planting beds at perennial locations to have a 6-inch minimum depth of loam. Planting beds at shrub locations to be depth of rootball.
9. Loam (6" min. depth) and seed all disturbed areas not noted to receive other treatment. See Civil Plans for complete limit of work.
10. Plant substitutions allowed based on best availability of nursery stock, with all substitutions to be approved by Landscape Architect.
11. See Civil Plans for complete Limit-Of-Work.

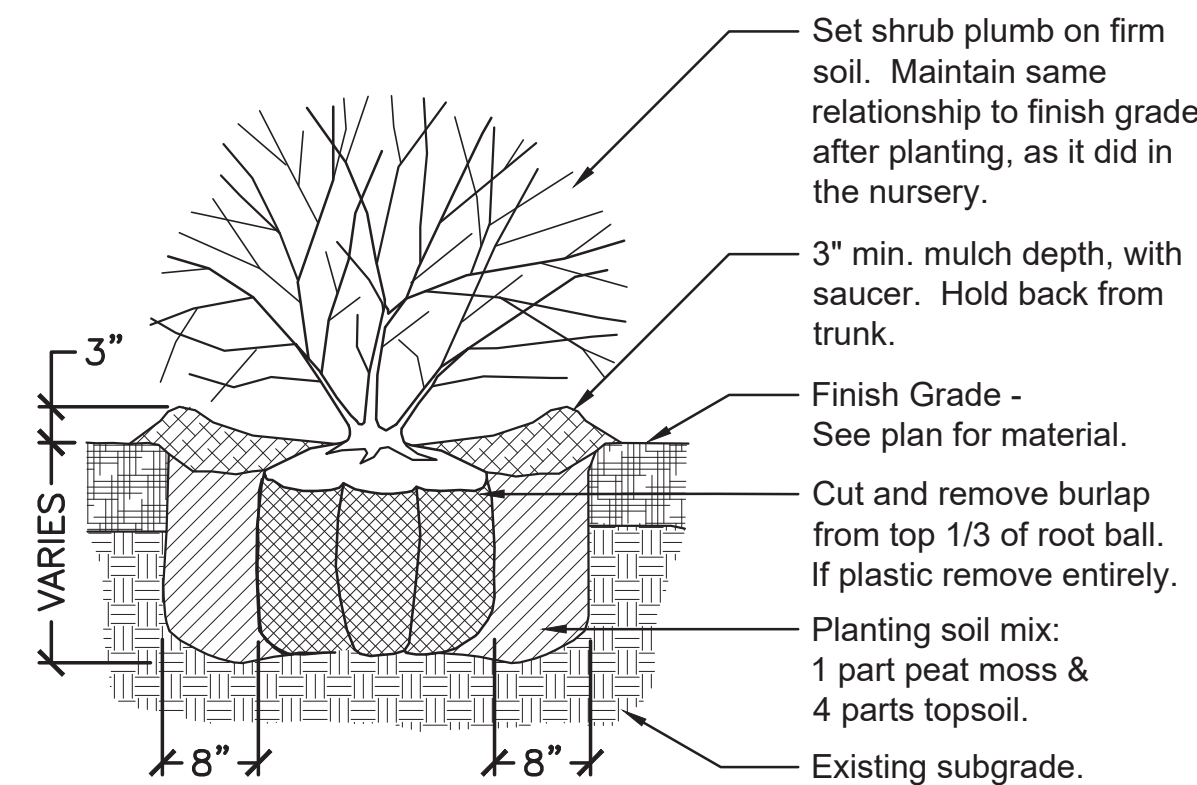
PLANT LIST:

SHRUBS - DECIDUOUS

6	SJ	<u>Spirea japonica 'Gold Mound'</u>	'Gold Mound' Spirea	2 - 2 1/2' ht.
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PERENNIALS AND GRASSES

15	HH	Hemerocallis x 'Happy Returns'	'Happy Returns' Daylily	1 gallon pot
13	PA	Pennisetum alopecuroides 'Hameln'	'Hameln' Dwarf Fountain Grass	1 gallon pot
13	RF	Rudbeckia fulgida 'Goldsturm'	'Goldsturm' Black-Eyed Susan	1 gallon pot



NOTES:

1. New shrub beds to have a minimum of one foot planting soil.
2. Shrubs to be full and bushy.

TYPICAL SHRUB PLANTING

Scale: $\frac{3}{4}" = 1' - 0"$



Call DIGSAFE, 1-888-344-7233,
for location and marking of all
utilities prior to any excavation.
Private utilities may require
additional marking and investigation

Cosmos Associates

Landscape Architects & Site Planners
5 Longview Street Natick, MA 01760
508.628.3595 www.cosmosassociates.com

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THE EXTENT OF Cosmos Associates LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF Cosmos Associates. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF Cosmos Associates SHALL RENDER IT INVALID AND UNUSABLE.



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MILLIS, MA 02054
Phone: 508-376-8883

354-D63

SHEET 4 OF 6

PLAN DATE: SEPTEMBER 1, 2016

DATE	BY
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DATE.

REVISION

— 100 —

255 TURNPIKE ROAD
LANDSCAPE
PLAN OF LAND
IN
SOUTHBOROUGH, MA





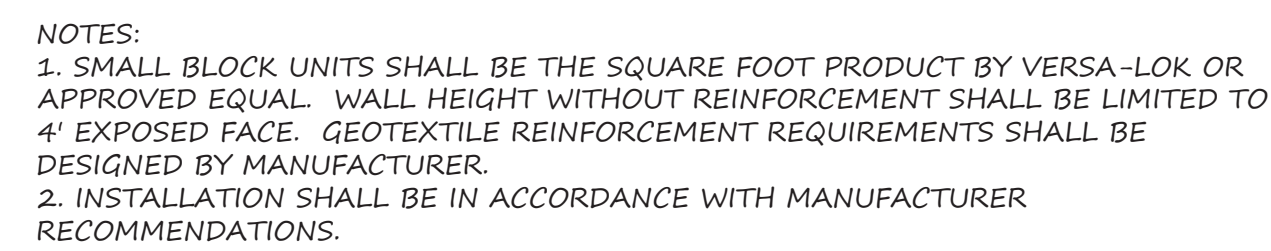
SYMBOL	CALLOUT	QUANTITY	MOUNTING	ARRANGEMENT	MODEL	LAMP	MOUNTING HEIGHT	TOTAL LUMENS
	W1	1	WALL	SINGLE	RAB LIGHTING, INC., WPLED4T150	(6) SIX WHITE MULTI-CHIP LEDS	15'	14352
	W2	2	WALL	SINGLE	RAB LIGHTING, INC., SLIM12	(1) ONE WHITE MULTI-CHIP LED	8'	1531
	W3	9	WALL	SINGLE	RAB LIGHTING, INC., SLIMFC57	(22) TWENTY-TWO WHITE MULTI-CHIP LEDS	10'	4158
	W4	2	WALL	SINGLE	RAB LIGHTING, INC., SLIMFC57	(22) TWENTY-TWO WHITE MULTI-CHIP LEDS	15'	4158



Diagram illustrating the Inlet Protection Detail. The structure consists of a catch basin grate (4' MIN. width) and a sediment trapping embayment (4' diameter filter sock placed around the catch basin grate). The diagram shows the direction of flow and the location of the embayment. Labels include: 4" DIAMETER FILTER SOCK PLACED AROUND CATCH BASIN GRATE, CATCH BASIN GRATE, 4' MIN., DIRECTION OF FLOW, SEDIMENT TRAPPING EMBAYMENT (NO EMBAYMENT IF IN A LOW-POINT), and ELIMINATE ONE SIDE IF CURB PRESENT.

INLET PROTECTION DETAIL

NOT TO SCALE



SHEET 6 OF 6